



### 3.0 ADVISORY PLANNING COMMISSION

The rezoning (and related) applications were reviewed by the Advisory Planning Commission at the meeting of December 19, 2006 and the following recommendation was passed:

THAT the Advisory Planning Commission support Zoning Application No. Z06-0065 for 1379 & 1383 Richter Street; 726 Stockwell Avenue, Lots 22, 23 & 24, Plan 1315, Sec. 25, Twp. 25, ODYD, by EF Gooch Architects Inc. to rezone the subject properties from the RU6-Two Dwelling Housing zone to the RM5-Medium Density Multiple Housing zone in order to accommodate a 27 unit apartment building.

### 4.0 THE PROPOSAL

The applicant is proposing to construct a 27 unit apartment building. Primary site access will be off of the north bound lane with single point ingress for the underground parkade. Additional visitor parking spaces are afforded within the parkade, also accommodating the bicycle parking.

The proposed building aims to blend in with the redevelopment character of similar projects near the downtown centre. The architectural design utilizes a conventionally shaped building proposed to be 4 1/2 storeys in height including a partially below-grade parkade. The development project aims to provide for a convenient and accessible lifestyle, both incorporated through interior design features and close proximity to urban amenities.

The application meets the requirements or requires variances of the proposed RM5- Medium Density Multiple Housing Zone as follows:

CRITERIA	PROPOSAL	RM5 ZONE REQUIREMENTS
Site Area (m <sup>2</sup> )	2116.17m <sup>2</sup>	1,400m <sup>2</sup>
Site Width (m)	45.21m	30.0m
Site Depth (m)	37.67m	30.0m
Site Coverage (%)	38%, 48%	40% or 60% including buildings, driveways, and parking
F.A.R.	1.3	1.1 (maximum) + 0.2 (bonus for required parking below habitable space)
Height (m)	15.19m	16.5m
Storeys (#)	<b>4 1/2 storeys*</b>	4 storeys
Setbacks (m)		
- Front (m)	6.0m	6.0m
- North side (m)	<b>3.51m*</b>	7.5m (bldgs in excess of 2 1/2 storeys)
- South side (m)	<b>3.07m*</b>	7.5m (bldgs in excess of 2 1/2 storeys)
- Rear (m)	<b>7.69m*</b>	9.0m
Private open space	615m <sup>2</sup>	615 m <sup>2</sup> (15m <sup>2</sup> per 1 bedroom dwelling; 25m <sup>2</sup> per dwelling with more than 1 bedroom)
Parking Space Size	2.5m x 6.0m 3.0m x 6.0m	2.5m x 6.0m 3.0m x 6.0m
Parking Stalls (#)	39 Parking spaces and 5 Visitor stalls ( <i>Variance required for parking configuration</i> )	39 Parking spaces and 4 Visitor stalls
Bicycle Stalls (#)	27 spaces	14 + 3 = 17 (0.5 per dwelling unit Class I, 0.1 per dwelling unit Class II)

\* = variance required

3.2 Site Context

The subject property is located at the corner of Stockwell Avenue and Richter Street. Adjacent zones and uses are:

- North - RU6 & P2 – Two Dwelling Housing and Education and Minor Institutional
- East - RU6 – Two Dwelling Housing
- South - RU6 – Two Dwelling Housing
- West - RM5 & RU6 – Medium Density Multiple Housing and Two Dwelling Housing

3.3 Site Location Map



3.3 Development Potential

The purpose of the RM5 – Medium Density Multiple Housing zone is to provide a zone primarily for medium density apartments.

### 3.4 Current Development Policy

#### 3.4.1 City of Kelowna Strategic Plan

The City of Kelowna Strategic Plan encourages the development of a more compact urban form by increasing densities through infill and redevelopment within existing urban areas and to provide for increased densities within future urban areas. The plan also encourages redeveloping transitional areas to increase densities for more efficient use of existing land. Also recommended is that the City will emphasize a density of development higher than presently occurring to allow for more efficient use of the land.

#### 3.4.2 Kelowna Official Community Plan

The proposal is consistent with the future land use designation of Multiple Unit Residential – Medium Density in the Official Community Plan. Preference will be given to supporting new housing in areas where required services already exist or can be provided most economically and efficiently. Additionally, policy 8.36 encourages development to contribute to the City's goal of over the 2000-2020 timeframe, having 53% of new residential units be in the form of apartments, townhouses (and cluster housing), or other multiple unit buildings.

However, as proposed the applicant is not proposing to provide affordable, special needs, or rental housing.

With respect to objectives for multiple unit residential development, all projects should be an appropriate response to its physical context, or anticipated future context where an area is designated for increased density or land use transition in the OCP. Design criteria for multiple unit development area as proposed is generally consistent with the guidelines that address landscaping, relationship to the street, building massing, end walls, view corridors, and crime prevention.

### 4.0 TECHNICAL COMMENTS

#### 4.1 Fire Department

Fire department access, fire flows and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw. Engineered fire flows should determine hydrant requirements.

#### 4.2 Inspections Department

Additional comments to revised drawings, parkade parking layout to meet requirements of Zoning Bylaw 8000. Exiting from parkade level does not meet requirement of building code. Dead end corridors shown on 2nd,3rd and 4th floors not to code. Majority of prior comments submitted not addressed.

#### 4.3 Parks Department

1. The applicant is proposing to vary the rear yard setback of the building and by doing so reduces the amount of general open space for the residents. The Parks Division recommends that the area of open space that is reduced due to the variance is made up for as a rooftop garden/green initiative for the residents with no net loss in open space area.

2. The City of Kelowna Boulevard Maintenance By-Law No. 5708-84 requires the residents to be responsible to weed, water and mow the boulevards adjacent to their properties. They will also be responsible for maintaining the boulevard in a reasonably tidy condition, free and clear of garbage, litter or debris.

3. We encourage the Applicant to consider the planting of street trees along Richter Street and Stockwell Avenue, consistent with the City of Kelowna's Urban Forestry Tree Planting Guide. To further discuss street trees, please contact Ian Wilson, Parks Division Urban Forester at (250) 469-8842.

4.4 Shaw Cable  
Owner/developer to install conduit.

4.5 Telus  
TELUS will provide underground facilities to this development. Developer will be required to supply and install conduit as per TELUS policy.

4.6 Works and Utilities

1. Domestic Water and Fire Protection

(a) The developer's consulting mechanical engineer will determine the hydraulic and fire flow requirements of the proposed development and establish service and hydrant needs. Decommissioning of three existing small diameter services and the installation of one larger service will be at the applicant's cost. The estimated cost of this work for bonding purposes is **\$12,000.00**.

If it is determined that upgrades to the existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.

(b) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost.

(c) The boulevard irrigation system must be integrated with the on-site metered irrigation system.

2. Sanitary Sewer

(a) The developer's consulting mechanical engineer will determine the requirements of the proposed development and future expansion and establish the sanitary service requirements.

(b) Removal and capping of the existing domestic sanitary services and the tie-in of one new larger service will be at the applicant's cost.  
The estimated cost of this work for bonding purposes is **\$5,000.00**

3. Storm Drainage

(a) The subject development must include the design of a piped drainage system for Stockwell Avenue fronting this development, including a catchbasin upgrade.  
The cost of the work is included in the road design calculations.

(b) The developer must engage a consulting civil engineer to provide a storm water management plan for this site which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of a lot grading plan, minimum basement elevation (MBE), storm water service and/or on-site drainage containment and disposal systems. The on-site drainage system may be connected to the street

drainage system with an overflow service at the developer's cost, with approval from the City drainage engineer.

The estimated cost of an overflow service for bonding purposes is **\$2,000.00**

4. Road Improvements

- (a) Richter Street fronting this development is fully urbanized. Frontage improvement requirements include the replacement of damaged sidewalk panels, wheelchair ramp and lane curb access crossing.  
This work will require curb, gutter sidewalk and ramp removal and replacement. The work must be constructed to City of Kelowna Standards.  
The estimated cost of this construction for bonding purposes is **\$6,000.00**.
- (b) Stockwell Avenue fronting this development must be upgraded to a (SS-R5) standard including concrete curb and gutter, sidewalk realignment, street lighting upgrade, extension of the piped storm drainage system, fillet pavement, landscaping and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction.  
The estimated cost of this construction for bonding purposes is **\$43,000.00**.
- (c) The lane fronting this development must be upgraded to a paved standard (SS-R2) including a storm drainage system.  
The estimated cost of construction for bonding purposes is **\$17,000.00**

5. Road Dedication and Subdivision Requirements

- (a) By registered plan provide a corner rounding of 6.0 meter where Richter Street intersects with Stockwell Avenue.
- (b) Dedicate 0.80m widening of the rear lane.
- (c) Lot consolidation
- (d) Grant statutory rights-of-way if required for utility services.

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to the building must be installed in an underground duct system. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

7. Geotechnical Report

As a requirement of this application and / or prior to issue of a building permit, the applicant must provide a modified geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development; i.e. unstable soils, etc.
- (c) Drill and/or excavate test holes on the site and install pisometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyze soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.

- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.

8. Bonding and Levy Summary

(a) Bonding

Richter Street road frontage improvements	\$ 6,000.00
Stockwell Avenue road frontage improvements	\$ 43,000.00
Lane frontage improvements	\$ 17,000.00
Service upgrades	\$ 19,000.00

Total Bonding **\$ 85,000.00**

NOTE: The bonding amounts shown above are comprised of estimated construction costs escalated to include engineering design and contingency protection and do not including utility service costs.

The owner must also enter into a servicing agreement in a form provided by the City.

9. Latecomer Provisions

- a) Under the provisions of the Municipal Act, Latecomer provisions are available for the following items:
  - i) Storm main construction.
  - ii) Lane upgrade

The consulting engineer is to prepare and submit the Latecomer information. The City will prepare the actual Latecomer Agreement(s) and forward to the owner(s) for signature. The Latecomer Agreements must be submitted for Council's adoption prior to the notice to proceed with the works and/or subdivision approval.

10. Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

11. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as 3% of the total off-site construction costs, not including design. 6% GST will be added.

12. Development Permit, Development Variance Permit and Site Related Issues

- (a) Move the building access ramp further from Richter Street. Access and egress design modifications must be submitted for approval by the City Works & Utilities Department. This is required to guarantee that the requirements and the

limitations of access and egress required by the City have been addressed to the City's satisfaction.

- (b) The development will be required to contain and dispose of site generated storm water on the site by installing a ground recharge systems consisting of drywells and perforated pipe bedded in drain rock.
- (c) The requested building height and setback variances do not compromise Works and Utilities servicing requirements.

#### 5.0 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

The Planning and Development Services Department supports the proposed change in land use. The proposed building form is consistent with many relevant development and design policies found in Kelowna's Official Community Plan.

Importantly, the subject properties are situated near the downtown area and supported by existing infrastructure to facilitate the proposed project. Other surrounding land uses are single family in nature, although the future land use designation projects this area to be redeveloped into medium density multiple unit residential. Given that the subject properties are on a corner location, the impact on adjacent properties is lessened and offers a reasonable transition into the adjacent single family character.

The accompanying Development and Development Variance Permits will address the form and character of the building at the time that the zoning requirements have been satisfied.

  
\_\_\_\_\_  
Shelley Gambacort  
Acting Development Services Manager

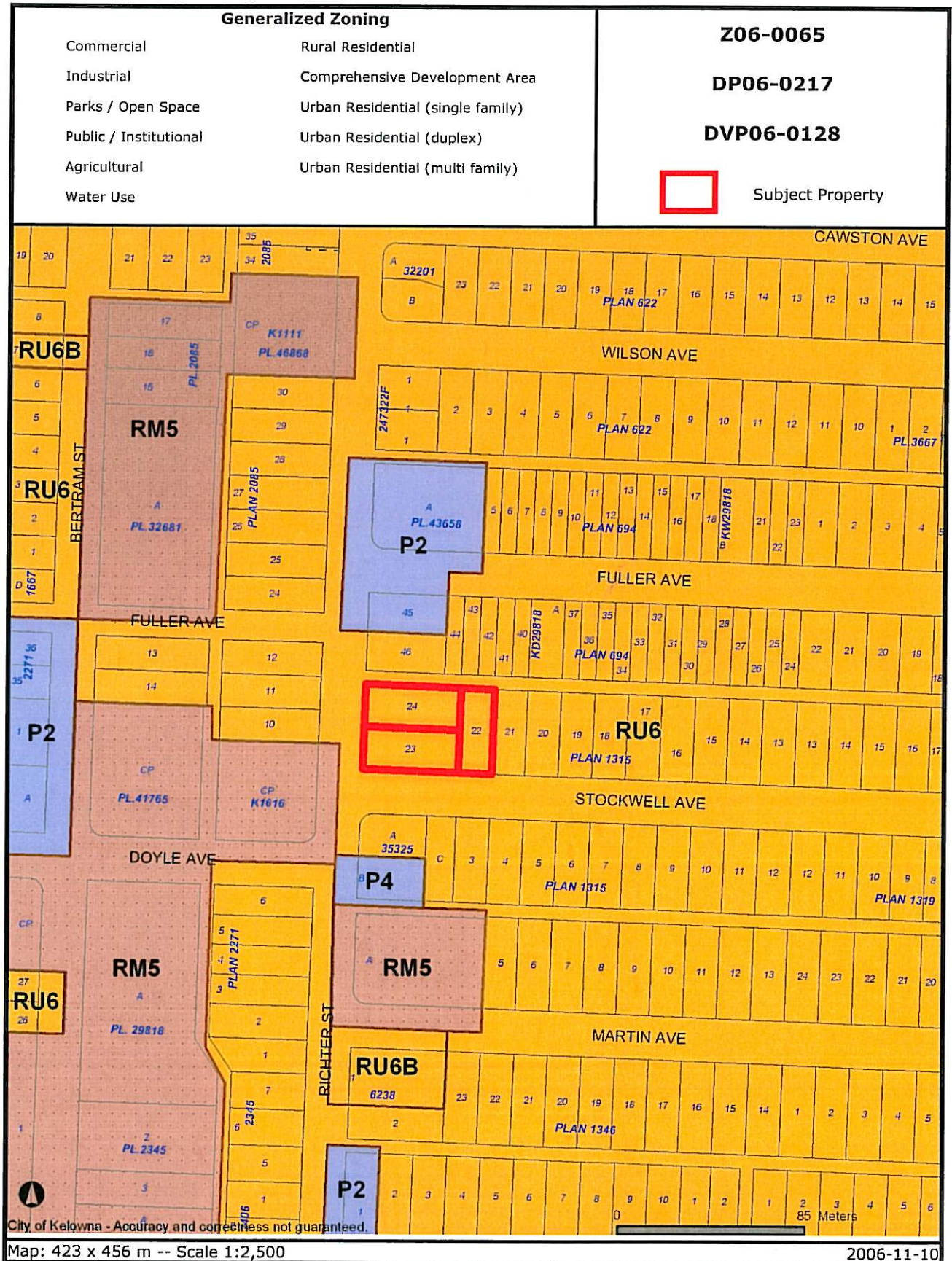
Approved for inclusion   
Mary Pynenburg MRAIC, MCIP  
Director of Planning & Development Services

SG/DN  
Attach.

#### ATTACHMENTS

- Location of subject property
- Site plan
- Floor Plans
- Elevations
- Colored Renderings





Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
 The City of Kelowna does not guarantee its accuracy. All information should be verified.



Hammer Planning Group, Inc.

urban living in Kelowna / *azure*

H+



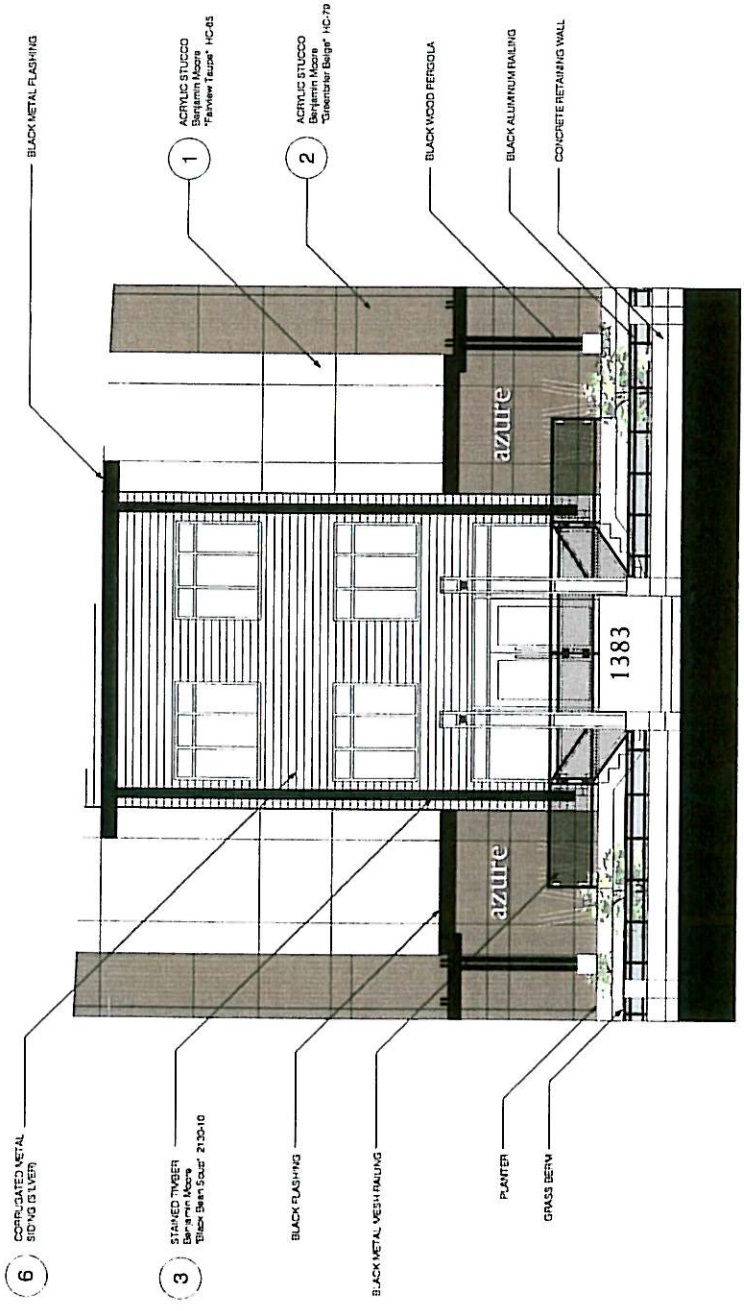
FRONT ELEVATION

- 1 ACRYLIC STUCCO  
Benjamin Moore  
"Fresco" #C-18
- 2 ACRYLIC STUCCO  
Benjamin Moore  
"Chalk" #C-27
- 3 STAINED TIMBER  
Benjamin Moore  
"Black" #C-10
- 4 METAL FLASHING  
(BLACK)
- 5 CORRUGATED ROOF  
(SILVER)
- 6 CORRUGATED METAL  
SIDING (SILVER)
- 7 METAL FLASHING  
(SILVER)

*designing in nature / Azure*

H+



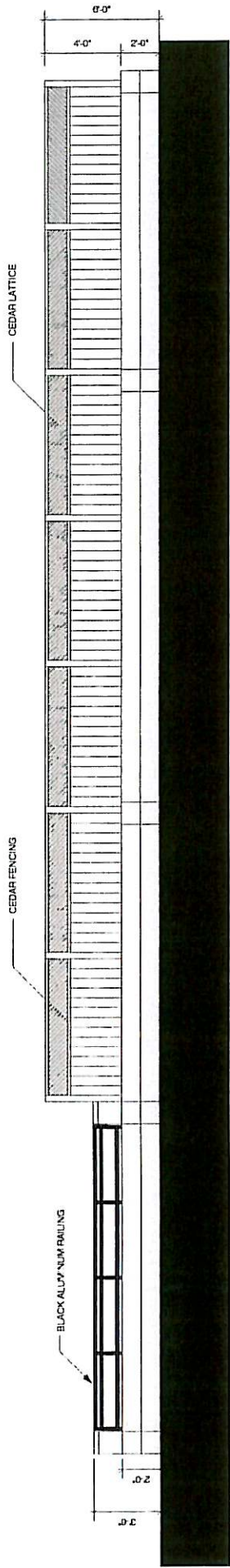


## Front Entry Detail

urban living in Kelowna / *azure*







**Rear Retaining Wall**

urban living in Kelowna / *azure*





**H+**  
 Horizon Planning Group, Inc.  
 PLANNING DESIGN ARCHITECTURE

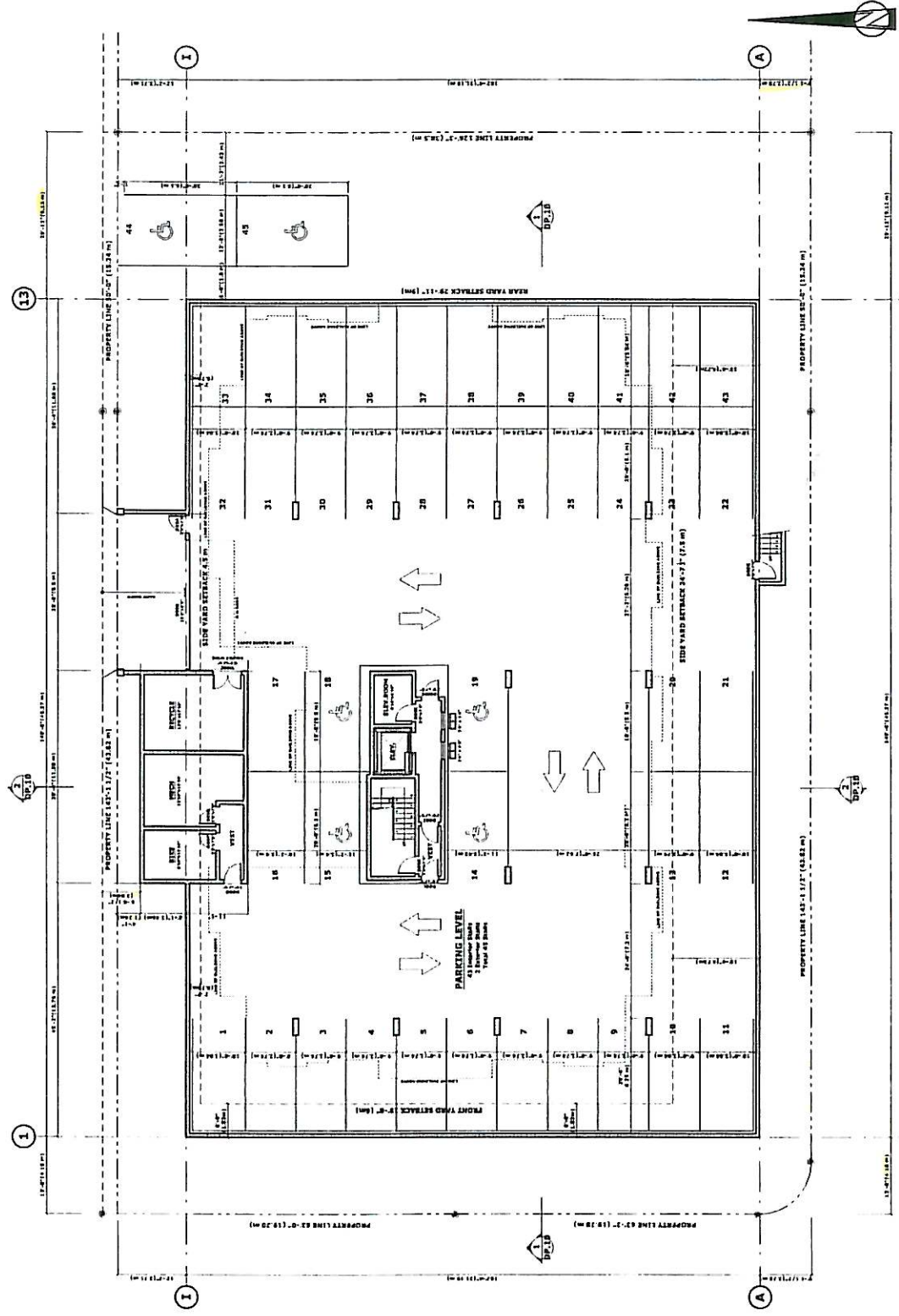
275 S. 110th Street  
 Edina, MN 55425  
 Phone: 763.551.4100  
 Fax: 763.551.4100  
 www.horizonplanning.com

Project Manager: A. Anderson

**Notes:**  
 This drawing is the sole property of H+ Group and is not to be reproduced, copied, or used in any way without the written consent of H+ Group. The drawings are for informational purposes only and do not constitute a contract. The drawings are subject to change without notice. The drawings are not to be used for any other purpose without the written consent of H+ Group.

**Gooch Architect**  
 10000 Grand Avenue  
 Minneapolis, MN 55426  
 Phone: 612.338.1100  
 Fax: 612.338.1101  
 www.goocharchitect.com

VARIANCES	
Item #	1
Description	Side Yard Setback
Requester	James Hirsch
Address	10000 Grand Avenue
City	Minneapolis
State	MN
Parcel #	150.021.0000
Project #	150.021.0000
City	Minneapolis
State	MN
City	Minneapolis
State	MN
City	Minneapolis
State	MN
City	Minneapolis
State	MN



- Variance Application:**
- To obtain a development variance permit to allow a North side yard setback of 3.7m and 1.24m where 4.5m is required. (Parking Level Only)
  - To obtain a development variance permit to allow a Front side yard setback of 4.16m where 6.0m is required. (Parking Level Only)
  - To obtain a development variance permit to allow a South side yard setback of 2.78m where 7.5m is required. (Parking Level Only)
- Variance Application:**
- To obtain a development variance permit to raise the height of the building 1 1/2 story due to high water table. Making the building a total of 4 1/2 stories where 4 stories is required.

1. PARKING LEVEL VARIANCES  
 Same Title

This drawing is the sole property of H+ Group and is not to be reproduced, copied, or used in any way without the written consent of H+ Group. The drawings are for informational purposes only and do not constitute a contract. The drawings are subject to change without notice. The drawings are not to be used for any other purpose without the written consent of H+ Group.



**AZURE**  
29 Units Residential Project  
December 21st, 2006

Units	SF	S/M	S/M <sup>2</sup>	10.0 Stairs
101	1,120	104.03	1.50	1.25
102	1,120	104.03	1.50	1.25
103	1,100	102.05	1.50	1.25
104	709	71.44	1.25	1.25
105	1,209	104.03	1.50	1.25
106	1,209	104.03	1.50	1.25
107	820	78.18	1.25	1.25
<b>Total Area</b>	<b>7,189</b>	<b>690.00</b>		<b>10.0 Stairs</b>

Second Floor Units	SF	S/M	S/M <sup>2</sup>	10.0 Stairs
201	1,170	105.65	1.50	1.25
202	1,170	105.65	1.50	1.25
203	1,100	102.19	1.50	1.25
204	709	71.44	1.25	1.25
205	1,190	110.55	1.50	1.25
206	1,190	110.55	1.50	1.25
207	820	78.18	1.25	1.25
<b>Total Area</b>	<b>7,429</b>	<b>690.15</b>		<b>10.0 Stairs</b>

Third Floor Units	SF	S/M	S/M <sup>2</sup>	10.0 Stairs
301	1,190	110.55	1.50	1.25
302	1,170	108.67	1.50	1.25
303	1,190	110.55	1.50	1.25
304	709	71.44	1.25	1.25
305	1,190	110.55	1.50	1.25
306	1,190	110.55	1.50	1.25
307	820	78.18	1.25	1.25
<b>Total Area</b>	<b>7,429</b>	<b>690.15</b>		<b>10.0 Stairs</b>

Fourth Floor Units	SF	S/M	S/M <sup>2</sup>	10.0 Stairs
401	1,190	110.55	1.50	1.25
402	1,170	108.67	1.50	1.25
403	1,190	110.55	1.50	1.25
404	709	71.44	1.25	1.25
405	1,190	110.55	1.50	1.25
406	1,190	110.55	1.50	1.25
407	820	78.18	1.25	1.25
<b>Total Area</b>	<b>7,429</b>	<b>690.15</b>		<b>10.0 Stairs</b>

**Architectural Drawing List**

- DP-1- SITE PLAN.
- DP-2- PARKING LEVEL FLOOR PLAN.
- DP-3- MAIN LEVEL FLOOR PLAN.
- DP-4- SECOND LEVEL FLOOR PLAN.
- DP-5- THIRD LEVEL FLOOR PLAN.
- DP-6- FOURTH LEVEL FLOOR PLAN.
- DP-7- ROOF PLAN.
- DP-8- ELEVATIONS.
- DP-9- ELEVATIONS.
- DP-10- BUILDING SECTIONS.

Project Name: urban living in Kelowna /azure  
 DP drawings  
 Print Date: February 21st, 2007

urban living in kelowna /azure

DP DRAWINGS February 21st, 2007





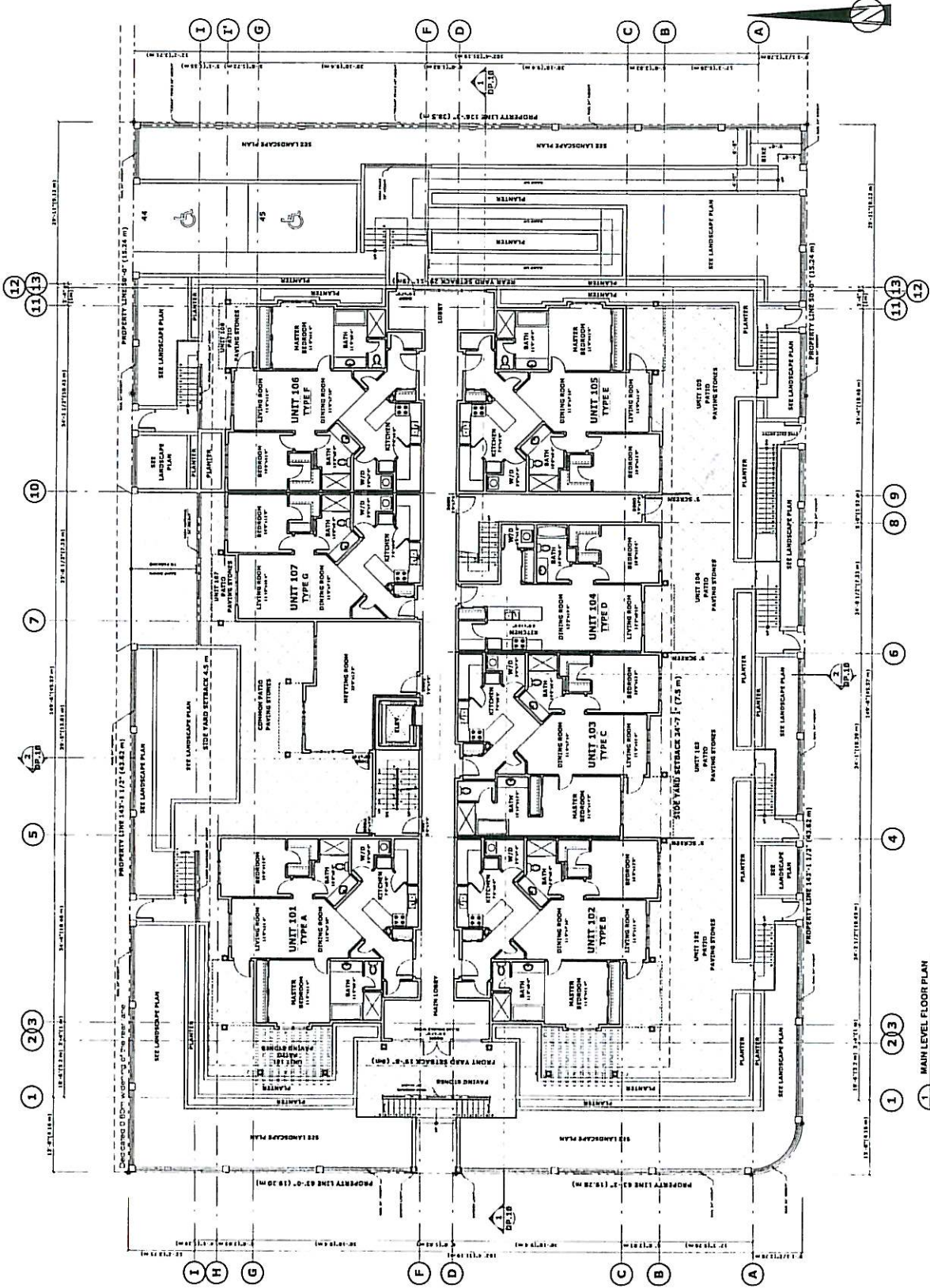
**Note:**  
This drawing is the exclusive property of H+ Group and  
shall not be used for any other project without the  
written consent of H+ Group. Any reproduction or  
distribution of this drawing without the written  
consent of H+ Group is strictly prohibited. H+ Group  
shall not be held responsible for any errors or  
omissions on this drawing. H+ Group shall not be  
responsible for any delays or stoppages of work  
caused by the contractor or any other party.  
Drawing Complete  
This drawing & design are the exclusive property of  
H+ Group and shall not be used for any other project  
without the written consent of H+ Group.

**Gaoch Architect**  
1000 P. Street, Suite 100  
Charlotte, NC 28202  
Tel: (704) 433-2424 Fax: (704) 433-2424  
The Age: (704) 433-2700 Fax: (704) 433-2424  
Urban@gaoch.com

urban living in Kabbana / Azure

DP-3

Project Name	AZURE
Location	Kabonata, British Columbia
Client	AZURE
Architect	Gaoch Architect
Date	Feb. 22, 2017
Scale	1/8" = 1'-0"
Sheet No.	DP-3
Total Sheets	1/10



MAIN LEVEL FLOOR PLAN  
Scale: 1/8" = 1'-0"

**Notes:**  
 This drawing is the intellectual property of H+ Group Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of H+ Group Inc.

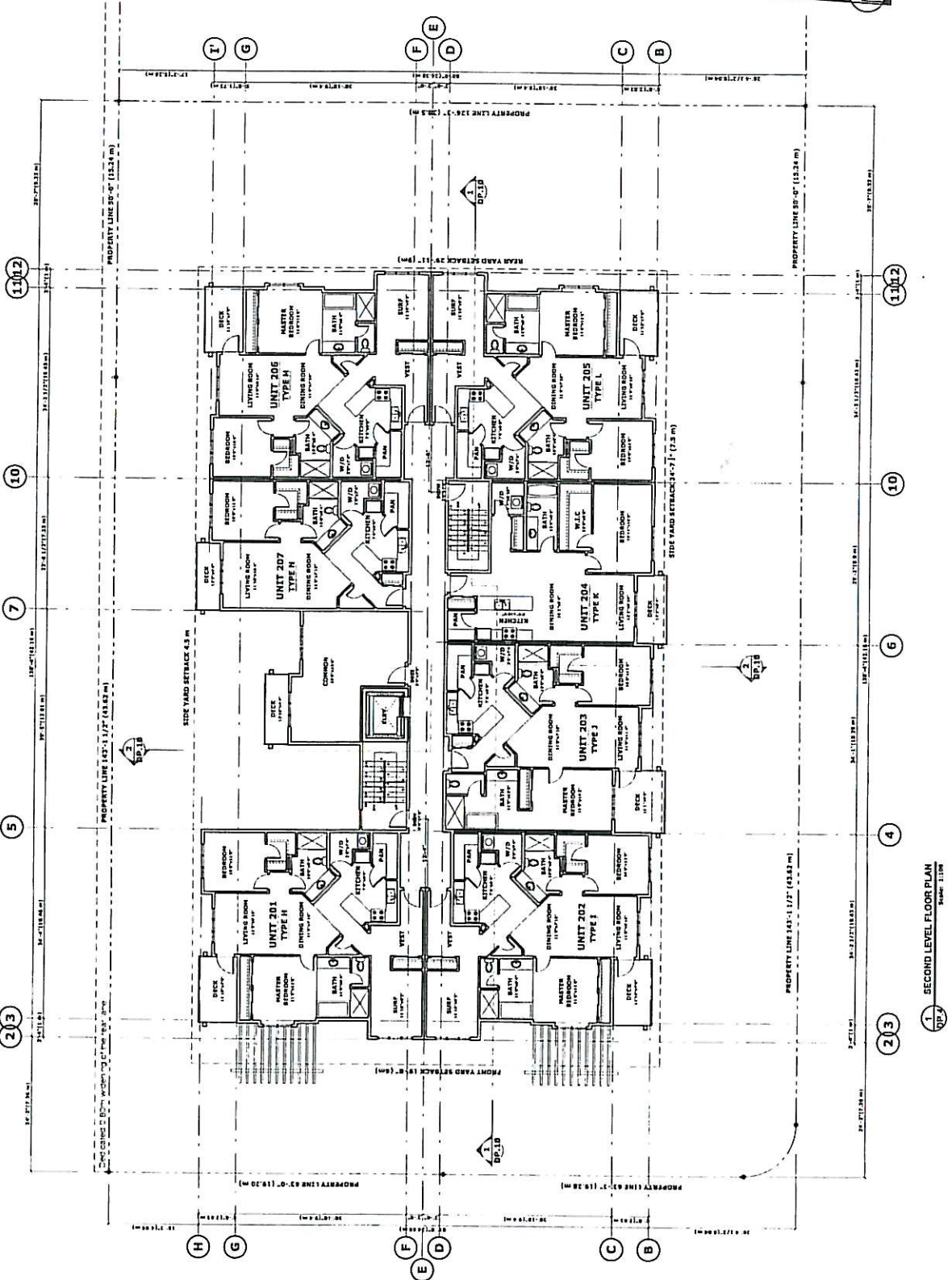
**Disclaimer:**  
 This drawing is for informational purposes only and does not constitute a contract. It is intended to provide a general overview of the proposed design and is not to be used for construction purposes. The final design and construction shall be governed by the contract documents and the applicable laws and regulations.

**Gooch Architect**  
 1000 West Beaver Creek Road, Suite 100  
 Richmond Hill, Ontario L4B 1N2  
 Tel: (905) 882-1111  
 Fax: (905) 882-1112  
 www.goocharchitect.com

urban living in kabonne / azure

**DP-4**

Project Name	DP-4
Client	Urban Living in Kabonne / Azure
Architect	Gooch Architect
Phase	Phase 2/27
Location	Kabonne, British Columbia
Scale	1:100
Sheet No.	SECOND LEVEL FLOOR PLAN



**SECOND LEVEL FLOOR PLAN**  
 Scale: 1/8" = 1'-0"

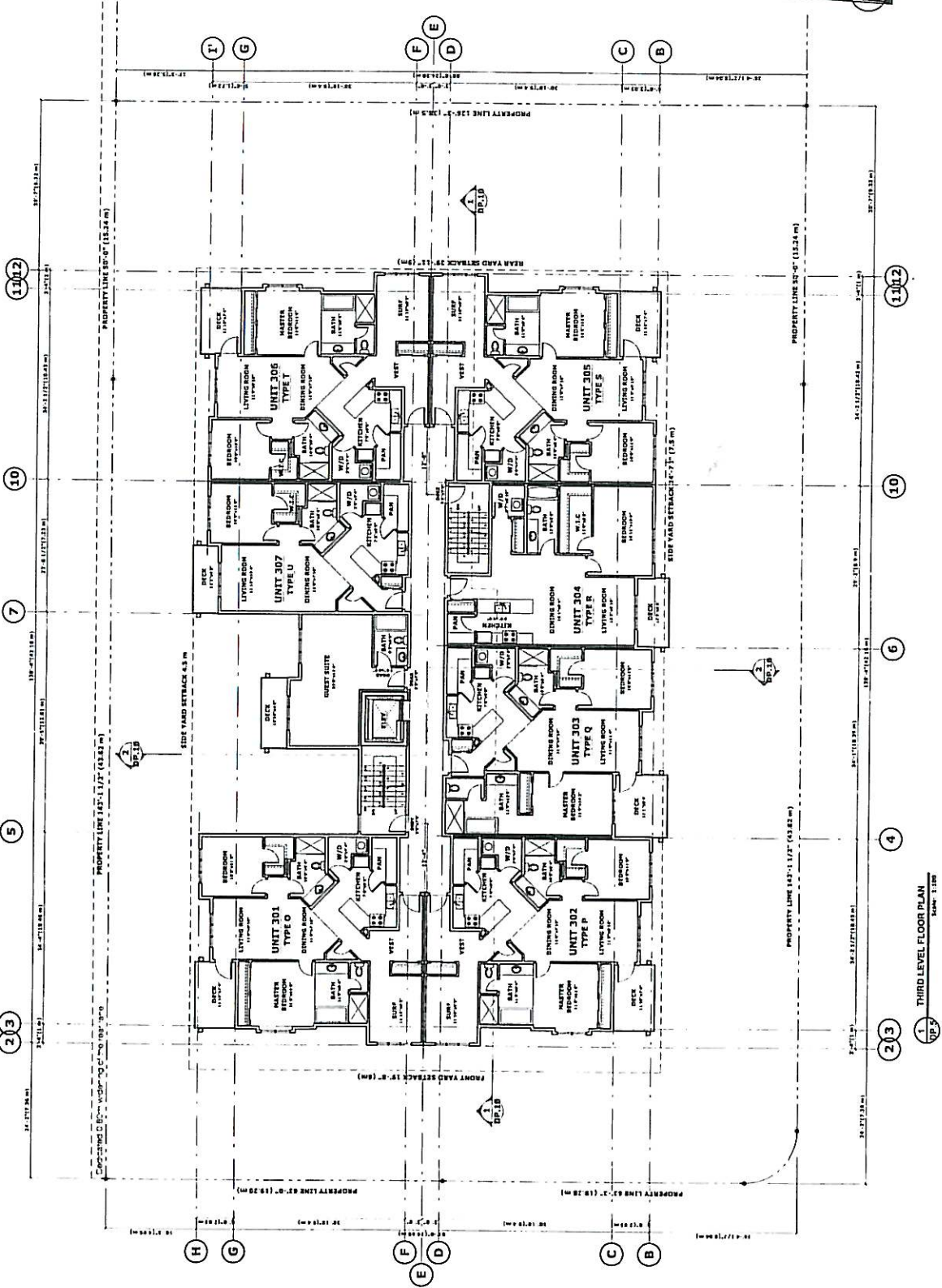
**H+**  
 Hayward Planning Group, Inc.  
 10000 Wilshire Blvd, Suite 1000  
 Los Angeles, CA 90024  
 Tel: 310.206.1100  
 Fax: 310.206.1101  
 www.haywardplanning.com

**Note:**  
 This drawing is the exclusive property of H+ Group, Inc. and is not to be used for any other project without the written consent of H+ Group, Inc. This drawing and the information contained herein are for the use of the client only and are not to be used for any other project without the written consent of H+ Group, Inc. The client acknowledges that it is the client's responsibility to verify the accuracy of the information provided in this drawing and to ensure that it is consistent with all applicable laws and regulations. H+ Group, Inc. is not responsible for any errors or omissions in this drawing or for any consequences arising therefrom.

**Gooch Architect**  
 6000 S. Santa Anita Avenue, Suite 100  
 Los Angeles, CA 90048  
 Tel: 310.441.8424  
 Fax: 310.441.8425  
 www.goocharchitect.com

urban living in Kadena / *Azure*

Project Name	DP-5
Client	DP-5
Architect	Gooch Architect
Scale	1/8" = 1'-0"
Date	10/12/17
Sheet	DP-5
Project Location	Kadena, British Columbia
Project Name	THIRD LEVEL FLOOR PLAN



THIRD LEVEL FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



**Note:**  
 This work is the exclusive property of H+ and shall not be used, copied, reproduced, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of H+. Any use of this work without the prior written consent of H+ shall constitute an infringement of the intellectual property rights of H+.

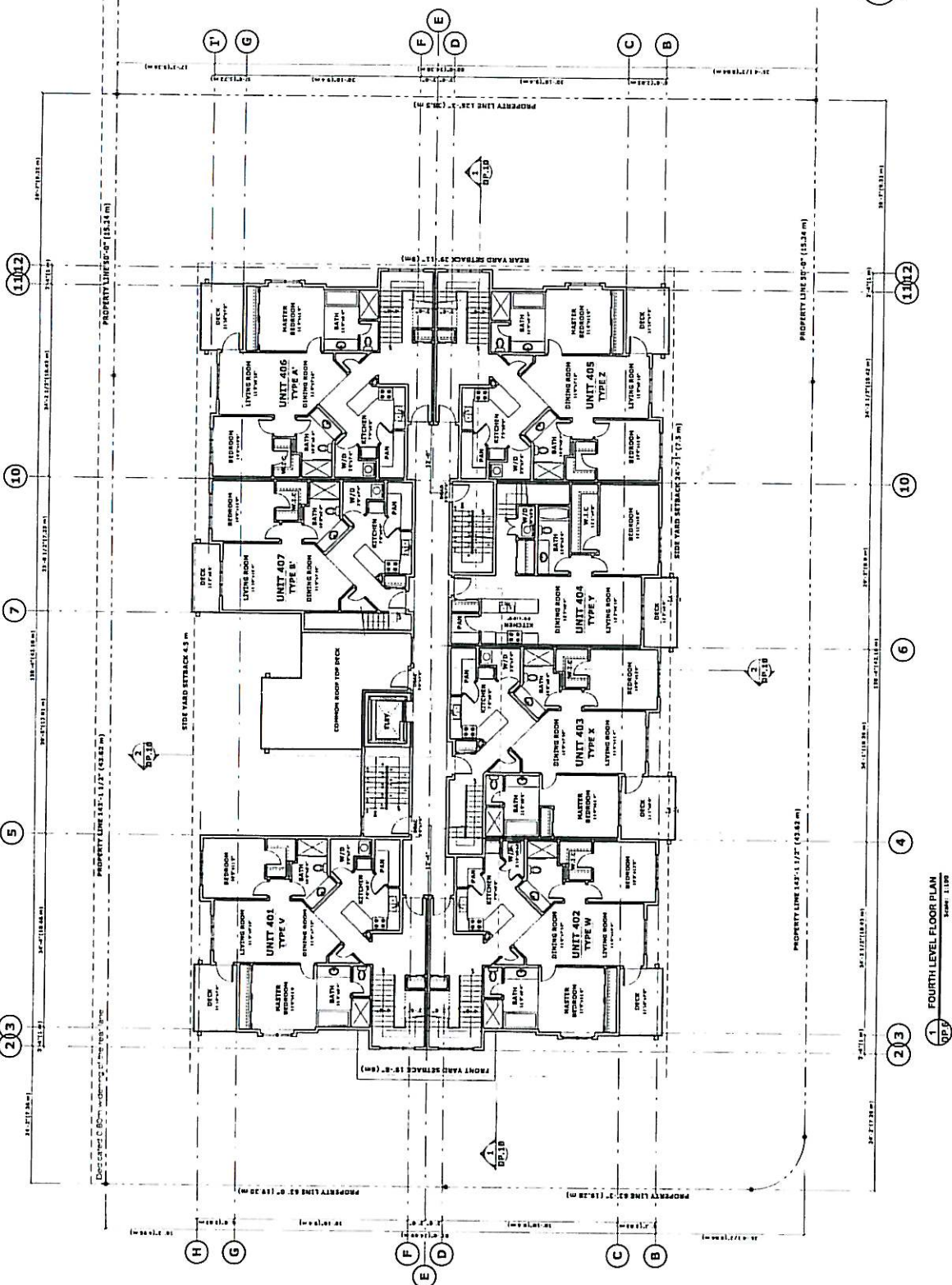
**Disclaimer:**  
 This drawing is a conceptual design and is not intended to be used for construction purposes. It is provided for informational purposes only and does not constitute a contract. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall not be held liable for any errors or omissions in this drawing or for any consequences arising therefrom.

**Gooch Architect**  
 PRACICE: RESIDENTIAL ARCHITECTURE  
 655 13th Street, Suite 100, Denver, CO 80202  
 Tel: (303) 432-2400 Fax: (303) 432-2401  
 Tel: (303) 432-2400 Fax: (303) 432-2401  
 Email: info@goocharchitect.com

urban living in kalbaria / AZURE

**DP-6**

Project Name	DP-6
Client	Horizon Planning Group, Inc.
Architect	Gooch Architect
Scale	1/8" = 1'-0"
Date	10/23/2017
Drawn by	EG
Checked by	EG
Project No.	DP-6
Revision	1
Author	AZURE
Location	Kalbaria, Dhaka, Bangladesh
Project Title	FOURTH LEVEL FLOOR PLAN



**FOURTH LEVEL FLOOR PLAN**  
 Scale: 1/8" = 1'-0"



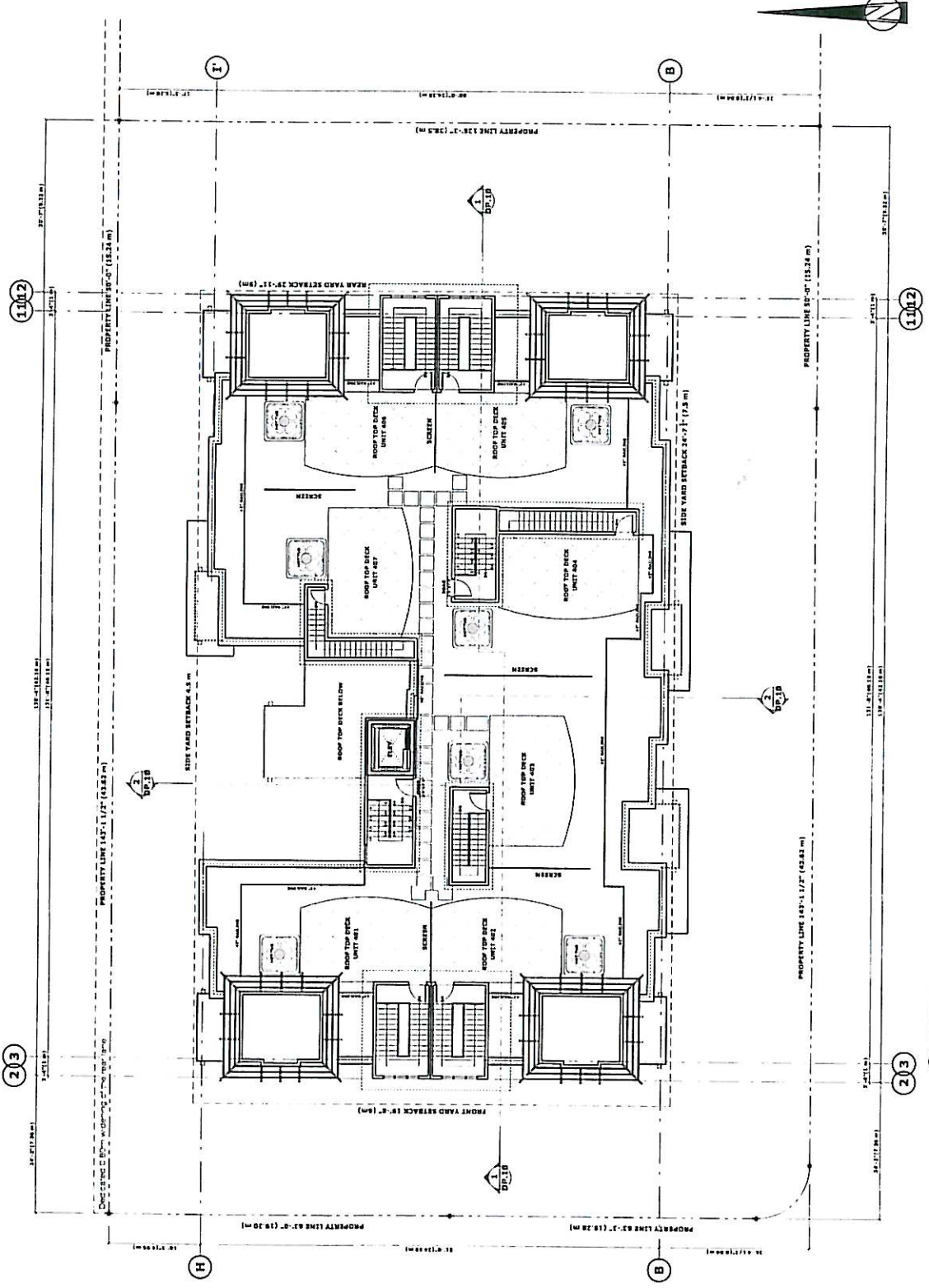


**Notes:**  
 This drawing is the exclusive property of H+ Group Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of H+ Group Inc.  
 This drawing shall not be used for any other project without the prior written permission of H+ Group Inc.  
 The drawings are the property of H+ Group Inc. and shall remain the property of H+ Group Inc. until the project is completed and the client has accepted the final drawings.  
 The drawings are the property of H+ Group Inc. and shall remain the property of H+ Group Inc. until the project is completed and the client has accepted the final drawings.

**Gooch Architect**  
 1000 West Beaver Creek Road  
 Suite 100  
 Richmond Hill, Ontario L4B 1N2  
 Tel: (905) 882-1111  
 Fax: (905) 882-1112  
 Email: info@goocharchitect.com

urban living in Kelowna / *Azure*

Project No.	DP-7
Client	1102
Architect	Gooch Architect
Designer	James Hartman
Date	11/18/11
Scale	1/8" = 1'-0"
Sheet No.	1102-1
Project Name	AZURE
Location	Kelowna, British Columbia
Project Type	ROOF PLAN



1 ROOF PLAN  
 Scale: 1/8" = 1'-0"

© 2011 Gooch Architect. All rights reserved. This drawing is the property of Gooch Architect and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Gooch Architect.



**Note:**  
 This drawing is the exclusive property of H.G. Goodrich and  
 is not to be used for any other project without the written  
 consent of H.G. Goodrich. This drawing and the design it  
 represents are the property of H.G. Goodrich. No part of this  
 drawing may be reproduced, stored in a retrieval system, or  
 transmitted in any form or by any means, electronic, mechanical,  
 photocopying, recording, or by any information storage and  
 retrieval system, without the prior written permission of H.G. Goodrich.

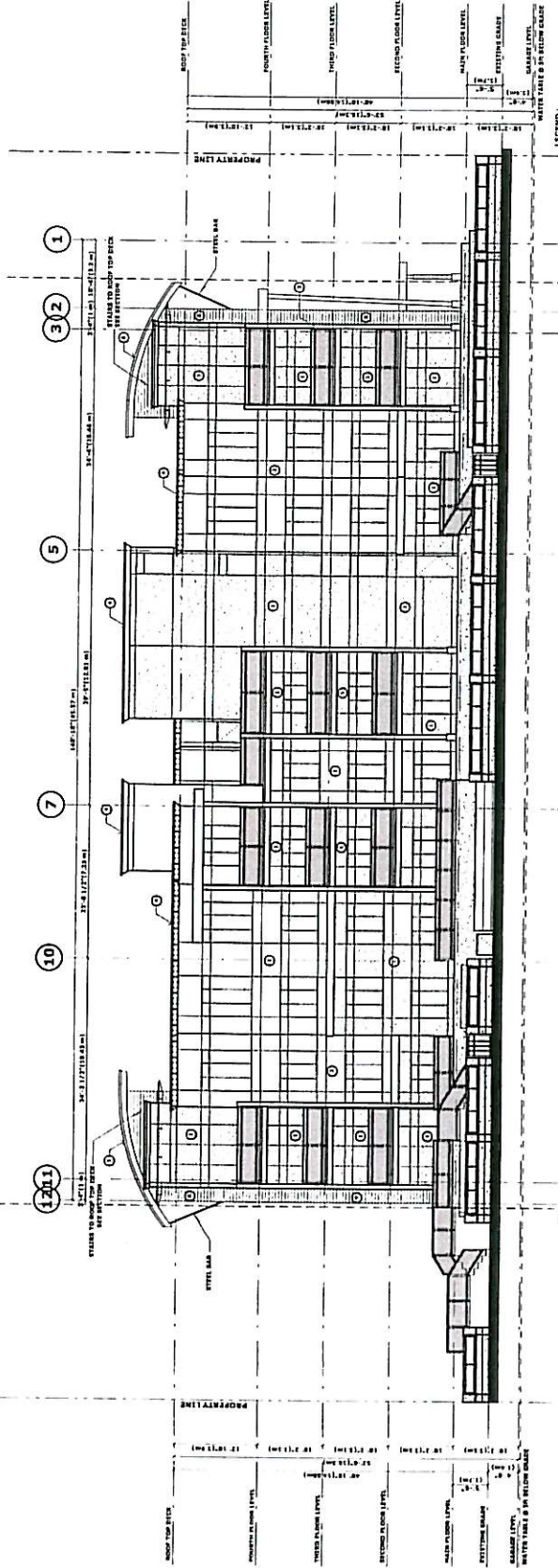
**Goodrich Architect**

Professional Corporation  
 1000 West Beaver Creek Road, Suite 100  
 Richmond Hill, Ontario L4B 1N2  
 Tel: (905) 882-1111  
 Fax: (905) 882-1112  
 www.goodricharchitect.com

urban living in reborn / *AZURE*

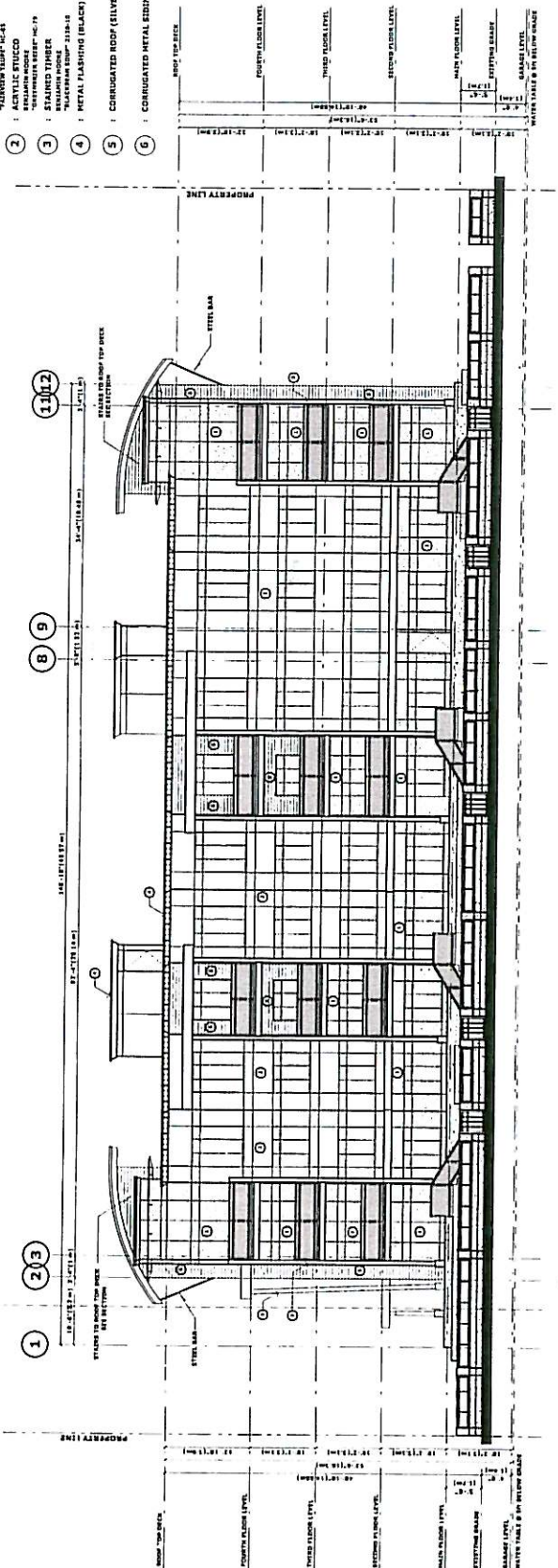
**DP-9**

Project Name	AZURE
Location	Richmond Hill, Ontario
Architect	Goodrich Architect
Client	Tri March
Date	Feb 22, 2017
Scale	1/8" = 1'-0"
Sheet No.	DP-9
Sheet Title	ELEVATIONS



**LEGEND:**

- 1 : ACRYLIC STUCCO
- 2 : METAL FLASHING (BLACK)
- 3 : STAINED TIMBER
- 4 : CORRUGATED ROOF (SILVER)
- 5 : CORRUGATED METAL SIDING
- 6 : CORRUGATED METAL SIDING



**2 RIGHT ELEVATION**  
 Scale: 1/8" = 1'-0"



**Note:**  
This drawing is the property of H+ Group, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of H+ Group, Inc.

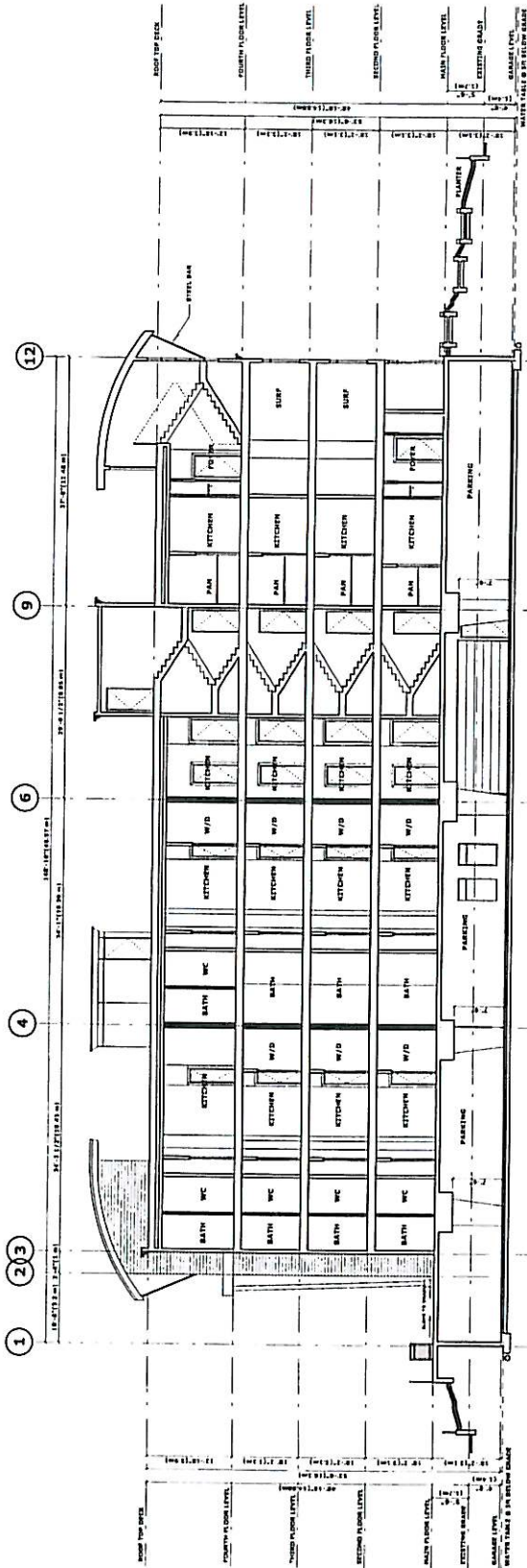
**Disclaimer:**  
This drawing is not intended to be used for any purpose other than that for which it was prepared. It is not to be construed as a contract or any other legal document. It is the responsibility of the client to verify the accuracy of the information provided and to obtain all necessary permits and approvals from the appropriate authorities.

**Gooch Architect**

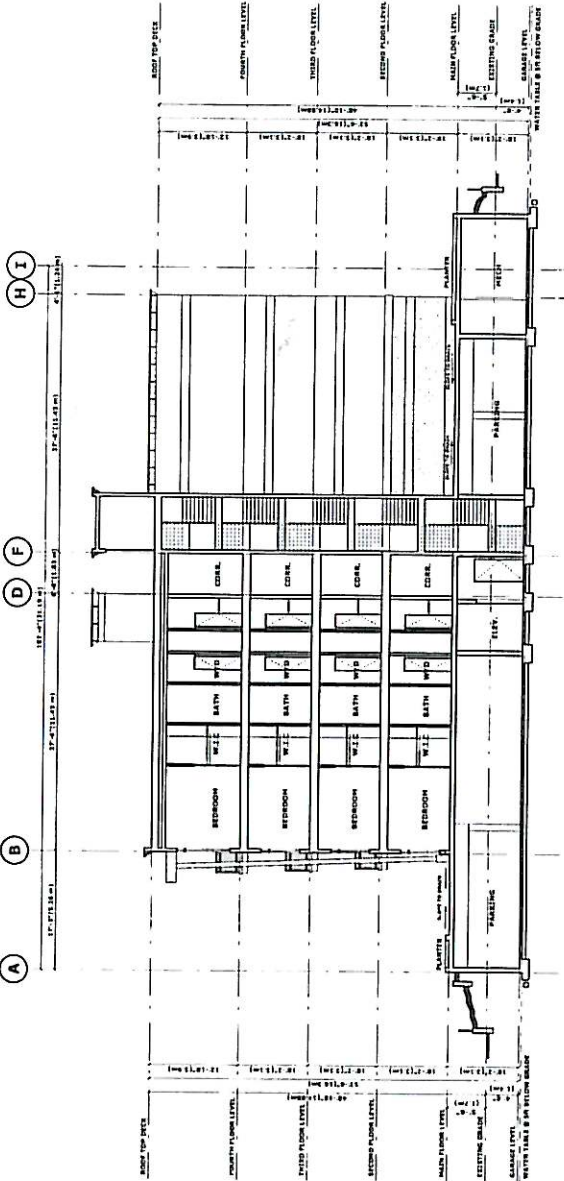
1000 15th Street, Suite 1000  
Portland, Oregon 97202  
Phone: 503.222.1111  
Fax: 503.222.1112  
www.goocharchitect.com

urban living in hollywood / AZURE

Project Name	DP-10
Architect	Gooch Architect
Client	Truist
Location	1000 15th Street, Suite 1000, Portland, Oregon 97202
Date	10.22.22
Scale	As Shown
Sheet	AZURE
Project	1000 15th Street, Suite 1000, Portland, Oregon 97202
Section	BUILDING SECTIONS



**1 BUILDING SECTION**  
Scale: 1/8" = 1'-0"



**2 BUILDING SECTION**  
Scale: 1/8" = 1'-0"

